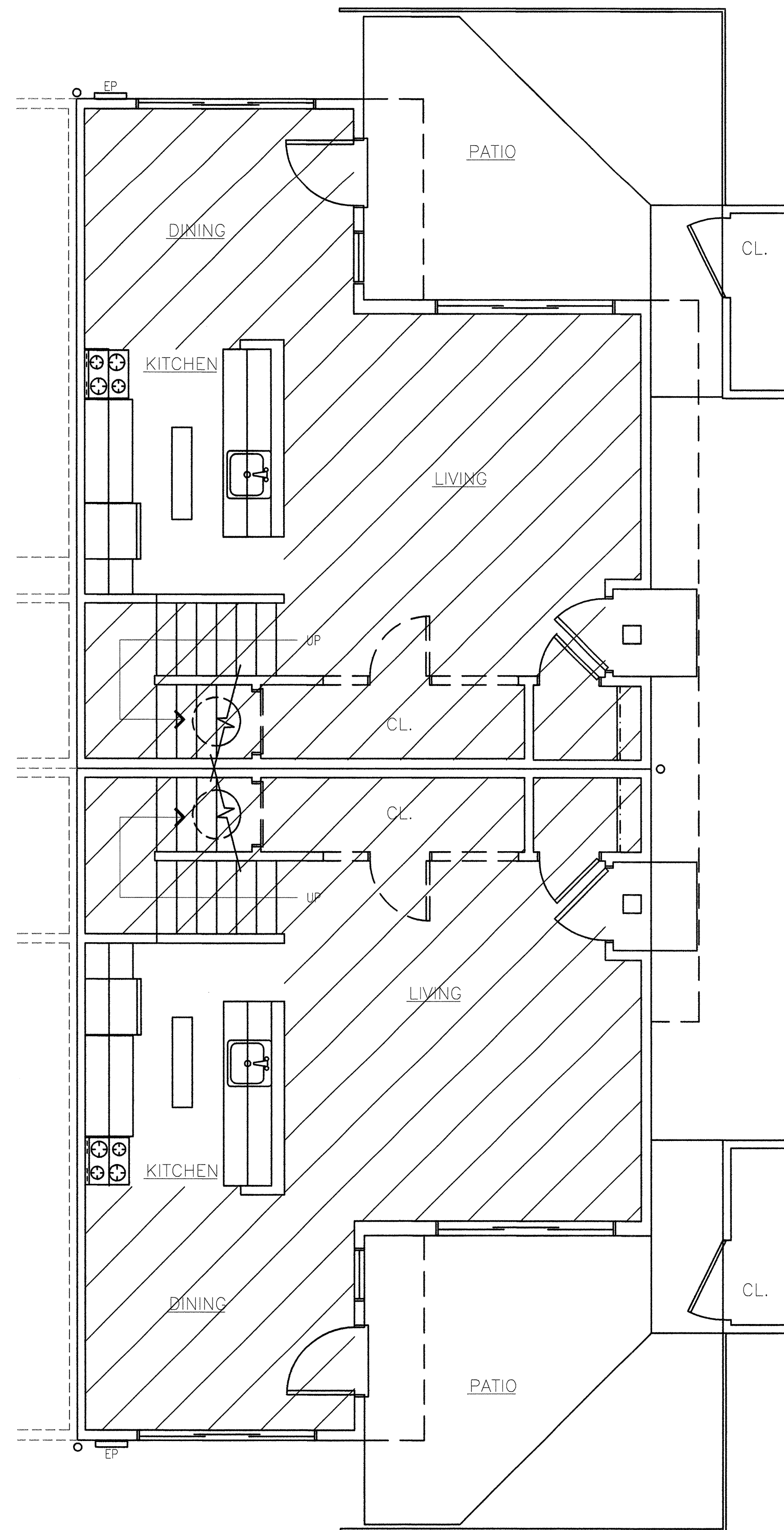


1 TYPICAL SECOND FLOOR PLAN - EASTWOOD CT.
 ASB-1 SCALE: 1/4"=1'-0" FOURPLEX



2 TYPICAL FIRST FLOOR PLAN - EASTWOOD CT.
 ASB-1 SCALE: 1/4"=1'-0" FOURPLEX

Asbestos-Containing Ceiling Texture on Drywall

GENERAL NOTES:

The purpose of this drawing is to depict approximate locations of the asbestos-containing materials to be removed according to the scope of work. The building materials used in this property were analyzed for asbestos content in a previous building inspection. No further sampling was conducted by G2 to attempt to identify hidden layers of suspect materials under floors, inside walls and interstitial spaces. Any additional suspect materials identified during the renovation should be tested for asbestos content prior to impact.

ABATEMENT NOTES:

1. Abatement contractor to field verify all quantities and locations.
2. Abatement contractor is responsible for the removal of the ACM included in the scope of work. Some of this material may have obstructions or be concealed by carpeting and other building materials.
3. All ACM removal is to be conducted in compliance with all Federal, State and local regulations, and, at a minimum, must be conducted within a negative pressure containment.
4. All coordination for abatement activities shall be between the abatement contractor and the general contractor.
5. All negative pressure containment provisions shall require clearance sampling prior to turning the work space back over to the general contractor.
6. Abatement contractor shall coordinate all clearance sampling with G2 Consultants, Inc., with efforts made to give a reasonable amount of notice.

SCOPE OF WORK - CEILINGS:

1. Removal and disposal of approximately 49,170 sq. ft. (894 sq. ft. per unit average) of asbestos-containing ceiling texture on drywall substrate. The square footage represents all units at both properties, including the ADA and duplex units at Eastwood.
2. Removal and disposal of approximately 400 sq. ft. per unit of drywall w/ asbestos-containing joint compound to provide access for new plumbing and electrical runs.
3. Removal and disposal of ceiling texture overspray from approximately 50 sq. ft. of structural members in the attic around the attic access holes in each unit. The purpose of this removal is to provide safe access for other trades into the attic spaces.

Notes:
 This is a design drawing and is the property of G2 Consultants, Inc. It is not intended to replace required architectural or engineering plans. This drawing is not to be reused or reproduced without written permission from G2 Consultants, Inc.

Client: HAP
 Carlton/Eastwood
 Project: Carlton/Eastwood
 Location: Portland, Oregon
 G2 Project #: 1011-27

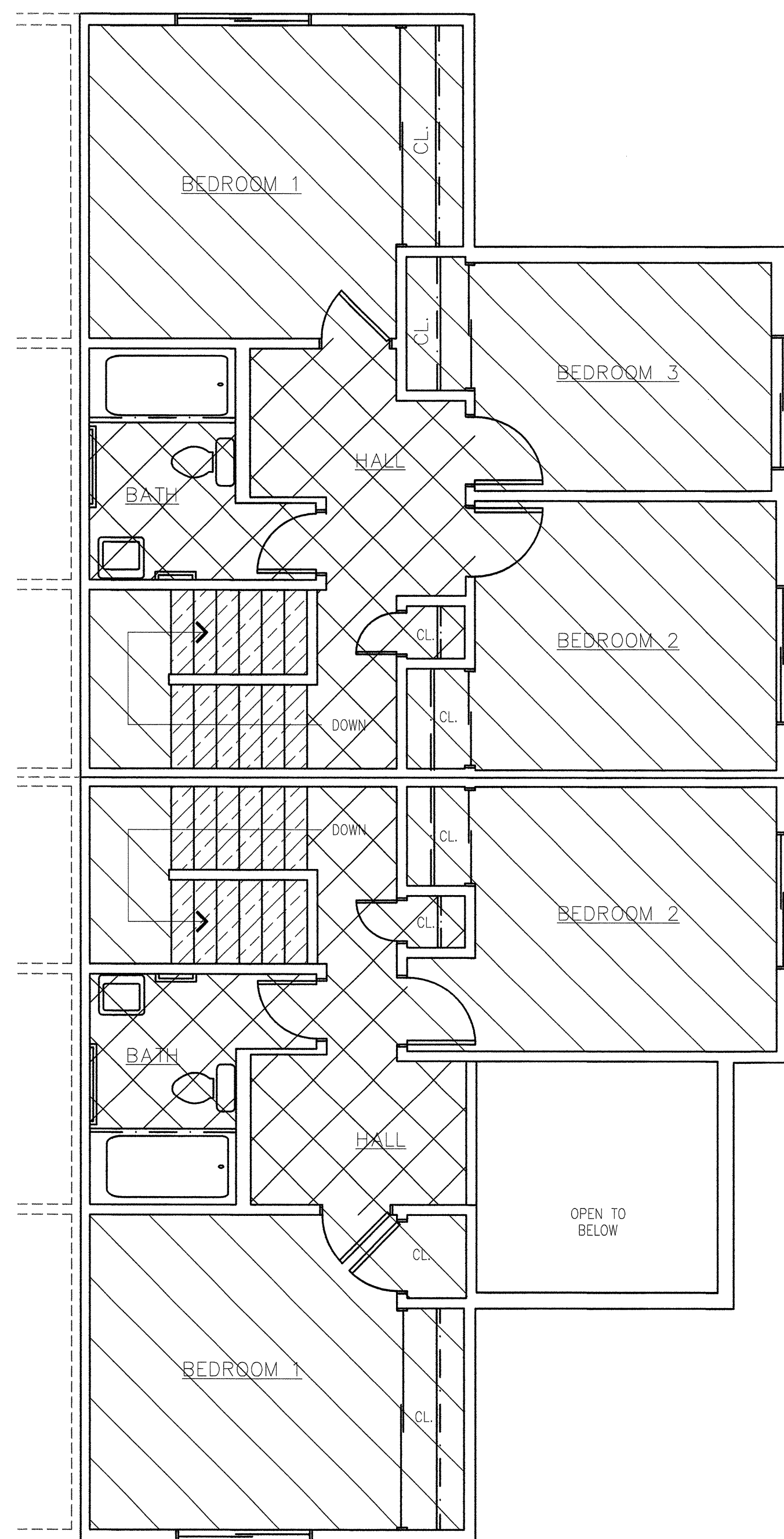
Eastwood Ct. and Carlton Ct. Modernization
 Carlton - 5249 NE Killingsworth St. Port., OR 97218
 Eastwood - 18210 SE Yamhill St. Port., OR 97236
 Projects No. RFB 01/10-96
 Asbestos Abatement - Ceilings

consultants
 18889 SW 65th Avenue
 #15
 Lake Oswego, OR 97035
 888.998.g2ci
 888.887.8422 fax
 www.g2ci.com

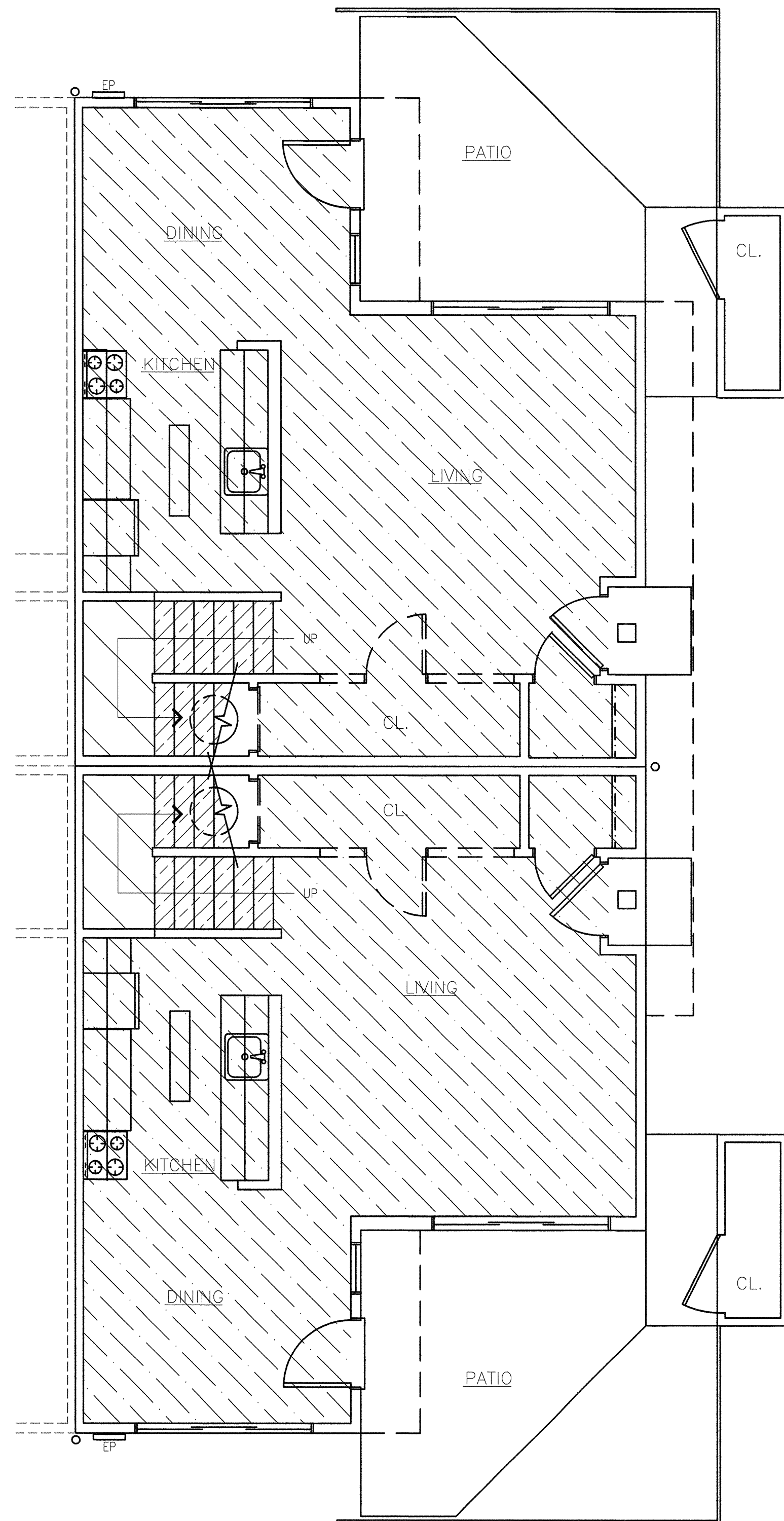
Report North

Date:
 3-31-10
 Drawn By:
 DKR
 Page #:

ASB-1



1
ASB-2
TYPICAL SECOND FLOOR PLAN - EASTWOOD CT.
SCALE: 1/4"=1'-0"
FOURPLEX



2
ASB-2
TYPICAL FIRST FLOOR PLAN - EASTWOOD CT.
SCALE: 1/4"=1'-0"
FOURPLEX

- Asbestos-Containing Floor Tile on Wood Substrate
- Asbestos-Containing Floor Tile on Concrete Substrate
- Asbestos-Containing Sheet Vinyl on Wood Substrate
- Ceiling Texture Overspray under Stair Tread on Wood Substrate

ACM not shown: Adhesive behind Blue Cove Base - Eastwood
Drywall w/ Asbestos-Containing Joint Compound
Sink Undercoating - Carlton Property

GENERAL NOTES:

The purpose of this drawing is to depict approximate locations of the asbestos-containing materials to be removed according to the scope of work. The building materials used in this property were analyzed for asbestos content in a previous building inspection. No further sampling was conducted by G2 to attempt to identify hidden layers of suspect materials under floors, inside walls and interstitial spaces. Any additional suspect materials identified during the renovation should be tested for asbestos content prior to impact.

ABATEMENT NOTES:

1. Abatement contractor to field verify all quantities and locations.
2. Abatement contractor is responsible for the removal of the ACM included in the scope of work. Some of this material may have obstructions or be concealed by carpeting and other building materials.
3. All ACM removal is to be conducted in compliance with all Federal, State and local regulations, and, at a minimum, must be conducted within a negative pressure containment.
4. All coordination for abatement activities shall be between the abatement contractor and the general contractor.
5. All negative pressure containment provisions shall require clearance sampling prior to turning the work space back over to the general contractor.
6. Abatement contractor shall coordinate all clearance sampling with G2 Consultants, Inc., with efforts made to give a reasonable amount of notice.

SCOPE OF WORK - FLOORS:

1. Removal and disposal of approximately 21,365 sq. ft. (388 sq. ft. per unit average) of asbestos-containing floor tile and mastic on wood substrate.
2. Removal and disposal of approximately 26,110 sq. ft. (475 sq. ft. per unit average) of asbestos-containing floor tile and mastic on concrete substrate.
3. Removal and disposal of approximately 6,600 sq. ft. (120 sq. ft. per unit) of asbestos-containing sheet vinyl on wood substrate.
4. Removal and disposal of approximately 1,925 sq. ft. (35 sq. ft. per unit) of stair tread w/ asbestos-containing ceiling texture overspray and mastic.
5. Removal and disposal of 24 sinks (one per unit) with asbestos-containing undercoating from the Carlton property only.
6. Removal and disposal of approximately 400 sq. ft. of drywall w/ asbestos-containing joint compound to provide access for new plumbing and electrical runs.
7. Removal and disposal of approximately 600 sq. ft. (25 sq. ft. per unit) of cove base w/ asbestos-containing adhesive from the bathrooms of the Carlton property only.

Notes:

This is a design drawing and is the property of G2 Consultants, Inc. It is not intended to replace required architectural or engineering plans. The drawing is not to be revised or reproduced without written permission from G2 Consultants, Inc.

Client: HAP Carlton/Eastwood
Project: Portland, Oregon
Location: Portland, Oregon

Eastwood Ct. and Carlton Ct. Modernization
Carlton - 5249 NE Killingsworth St. Port., OR 97218
Eastwood - 18210 SE Yamhill St. Port., OR 97236

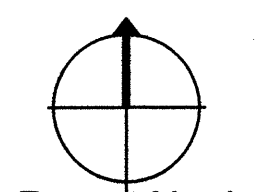
Projects No. RFB 01/10-96

Asbestos Abatement - Floors



consultants

16869 SW 65th Avenue
#15
Lake Oswego, OR 97035
888.888.g2ci
888.887.6422 fax
www.g2ci.com



Report North

Date:

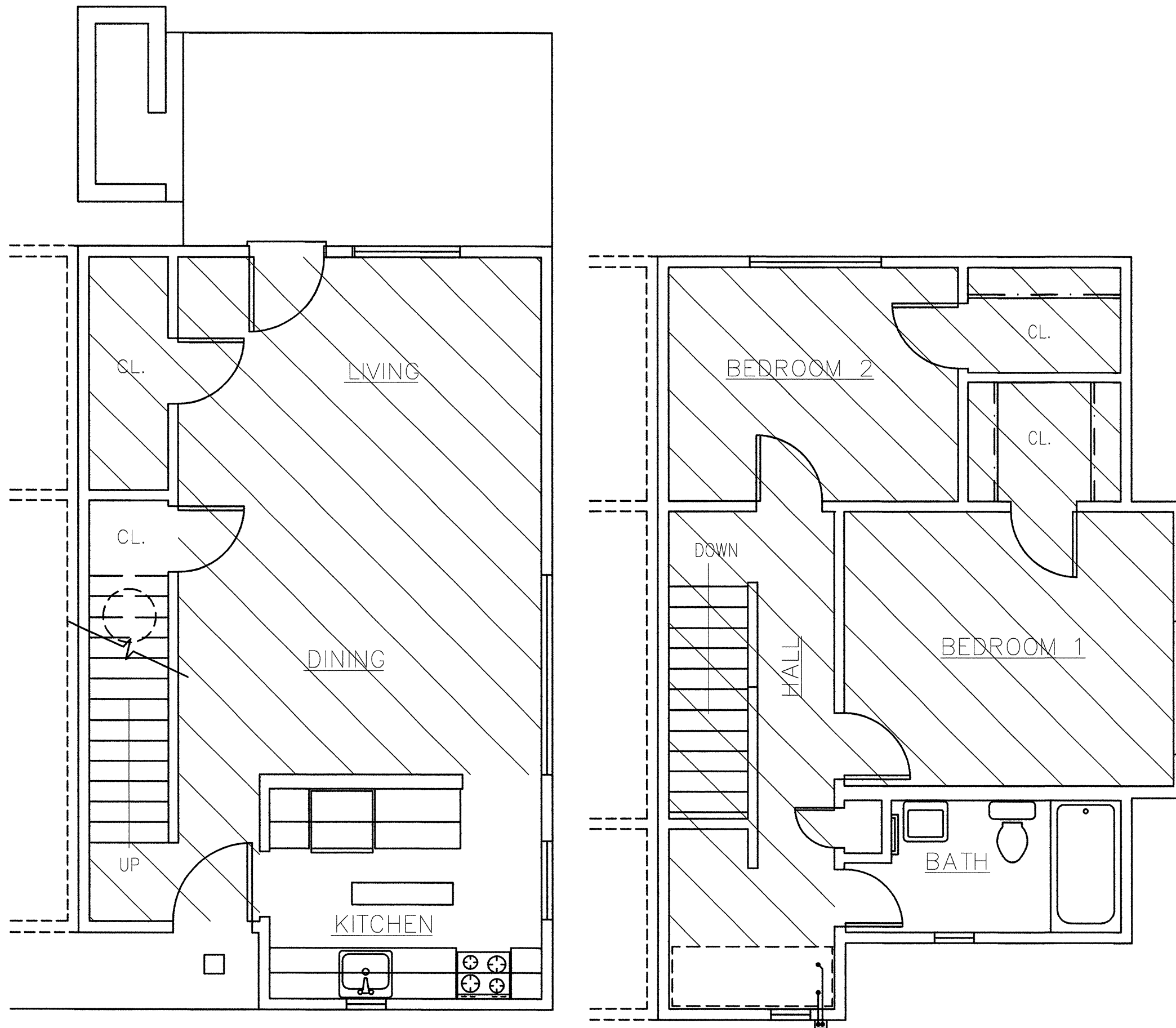
3-31-10

Drawn By:

DKR

Page #:

ASB-2



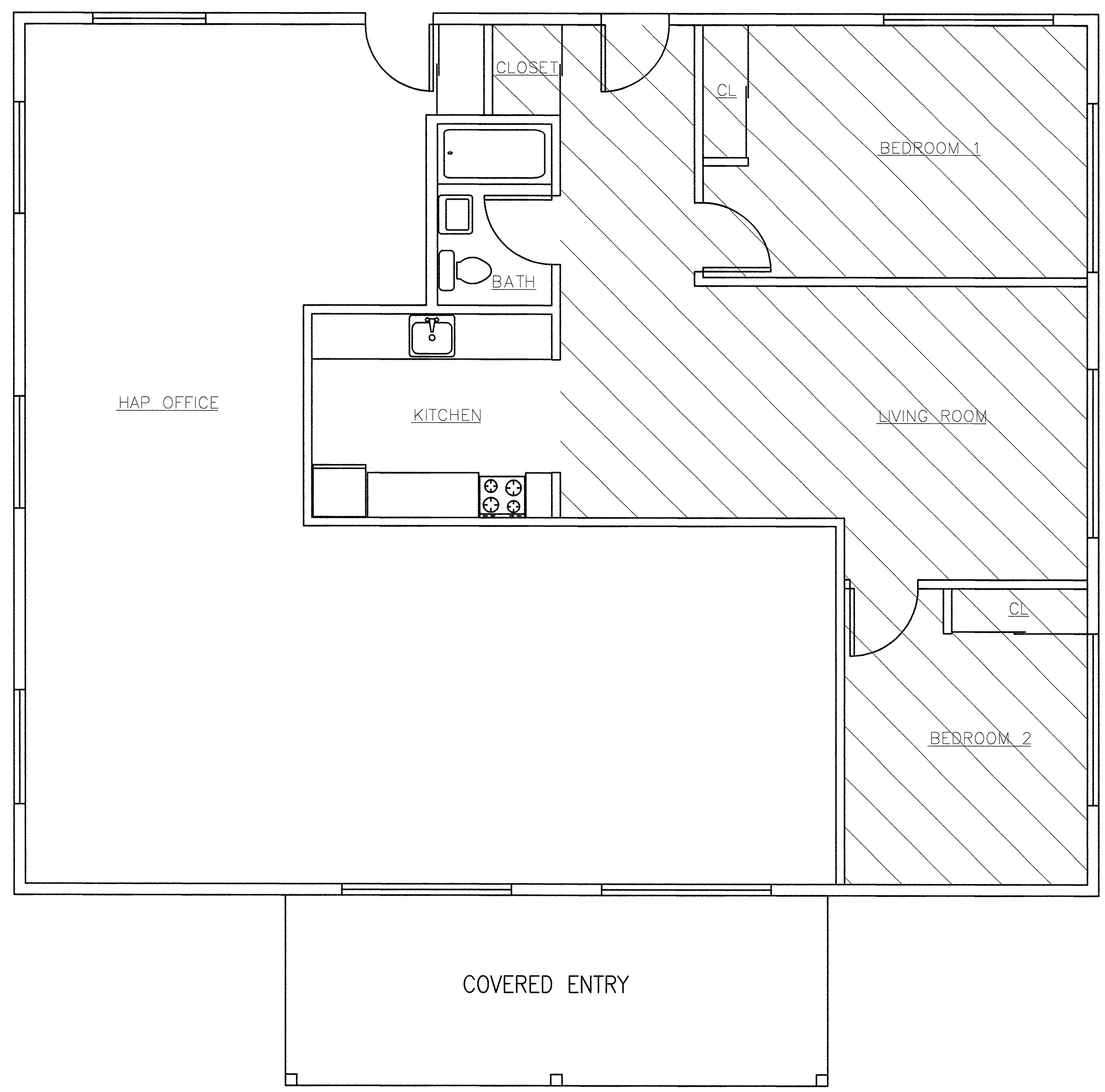
FIRST FLOOR

SECOND FLOOR

1 EASTWOOD COURT DUPLEX
SCALE: 1/4"=1'-0"

Asbestos-Containing Ceiling Texture on Drywall

GENERAL NOTES:
The purpose of this drawing is to depict approximate locations of the asbestos-containing materials to be removed according to the scope of work. The building materials used in this property were analyzed for asbestos content in a previous building inspection. No further sampling was conducted by G2 to attempt to identify hidden layers of suspect materials under floors, inside walls and interstitial spaces. Any additional suspect materials identified during the renovation should be tested for asbestos content prior to impact.



2 EASTWOOD COURT ADA UNIT
SCALE: 1/4"=1'-0"

- ABATEMENT NOTES:**
1. Abatement contractor to field verify all quantities and locations.
 2. Abatement contractor is responsible for the removal of the ACM included in the scope of work. Some of this material may have obstructions or be concealed by carpeting and other building materials.
 3. All ACM removal is to be conducted in compliance with all Federal, State and local regulations, and, at a minimum, must be conducted within a negative pressure containment.
 4. All coordination for abatement activities shall be between the abatement contractor and the general contractor.
 5. All negative pressure containment provisions shall require clearance sampling prior to turning the work space back over to the general contractor.
 6. Abatement contractor shall coordinate all clearance sampling with G2 Consultants, Inc., with efforts made to give a reasonable amount of notice.

- SCOPE OF WORK - CEILINGS:**
1. Removal and disposal of approximately 710 sq. ft. of asbestos-containing ceiling texture on drywall substrate from the duplex unit.
 2. Removal and disposal of approximately 685 sq. ft. of asbestos-containing ceiling texture on drywall substrate from the ADA unit.
 3. Removal and disposal of approximately 400 sq. ft. of drywall w/ asbestos-containing joint compound from the duplex units to provide access for new plumbing and electrical runs.
 4. Removal and disposal of approximately 500 sq. ft. of drywall w/ asbestos-containing joint compound from the ADA unit to provide access for new plumbing and electrical runs.

Notes:
This is a design drawing and is the property of G2 Consultants, Inc. It is not intended to replace required architectural or engineering plans. This drawing is not to be reused or reproduced without written permission from G2 Consultants, Inc.

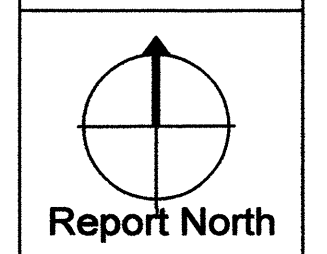
Client: HAP
Project: Carlton/Eastwood
Location: Portland, Oregon
G2 Project #: 1011-27

Eastwood Ct. and Carlton Ct. Modernization
Carlton - 5249 NE Killingsworth St. Port., OR 97218
Eastwood - 18210 SE Yamhill St. Port., OR 97236

Asbestos Abatement - ADA and Duplex Ceilings Projects No. REF 01/10-96

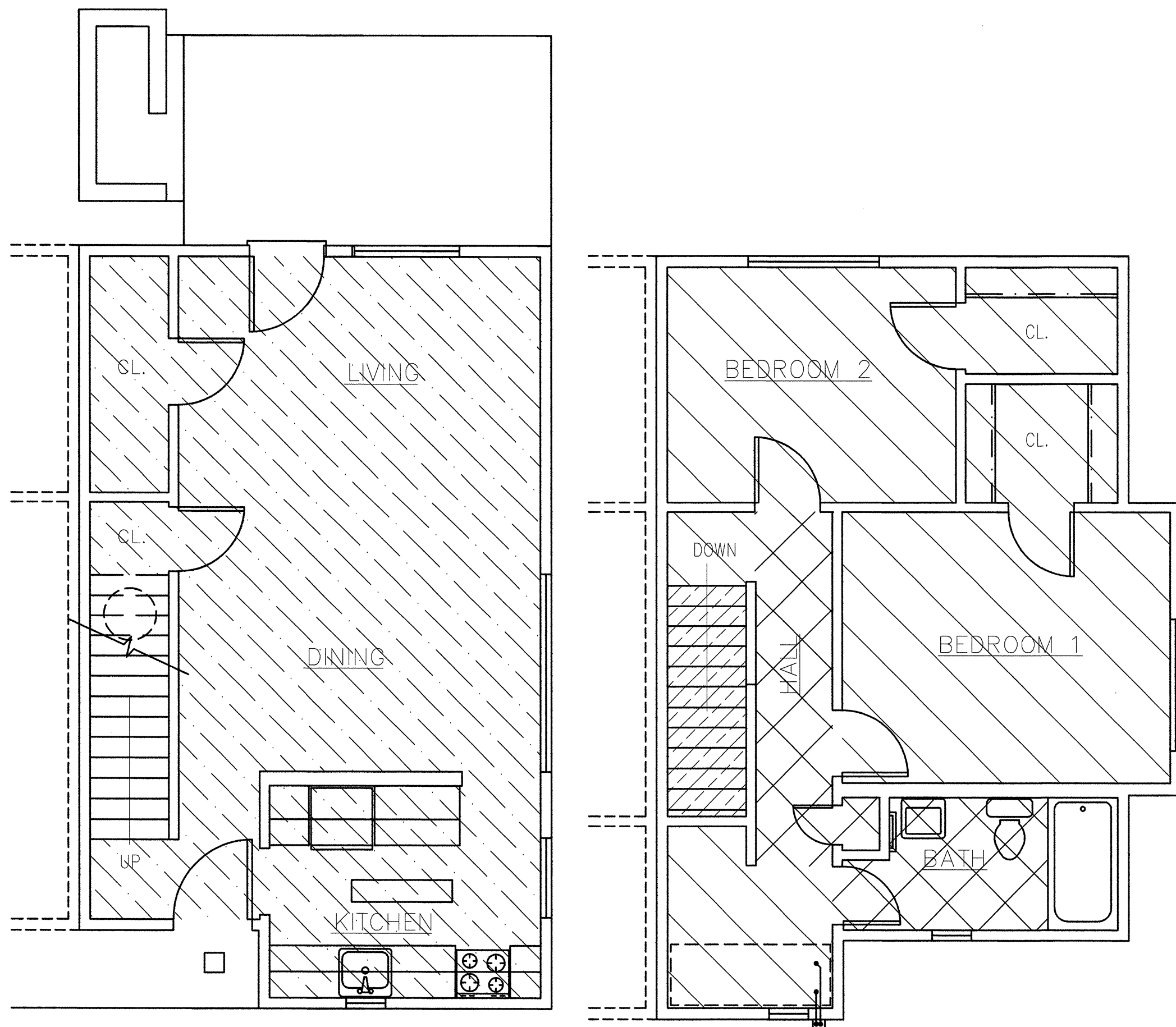


consultants
16869 SW 65th Avenue
#15
Lake Oswego, OR 97035
888.998.g2ci
888.887.6422 fax
www.g2ci.com



Report North
Date:
3-31-10
Drawn By:
DKR
Page #:

ASB-3



FIRST FLOOR

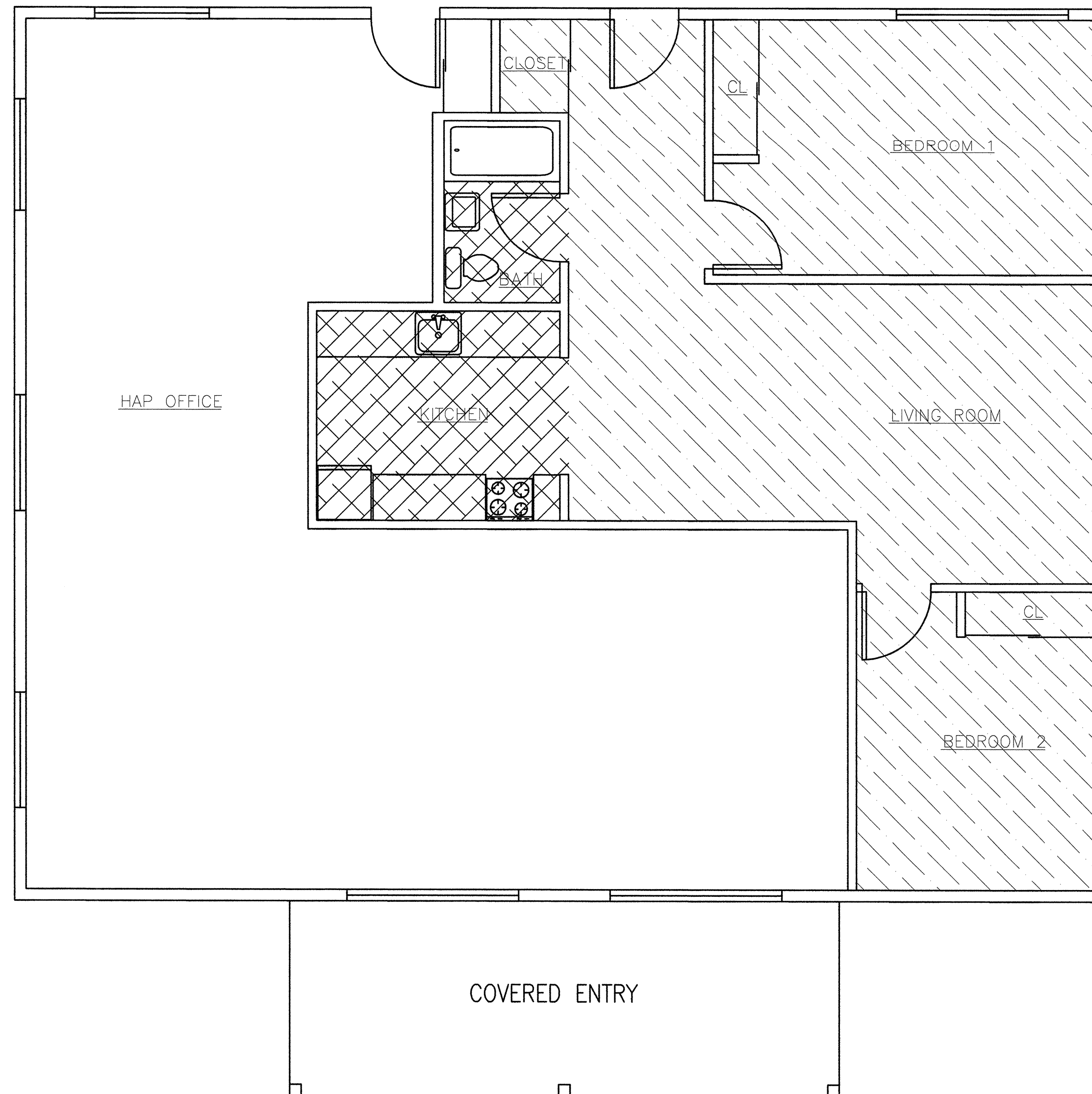
SECOND FLOOR

1 EASTWOOD COURT DUPLEX
SCALE: 1/4"=1'-0"

- Asbestos-Containing Floor Tile on Wood Substrate
- Asbestos-Containing Floor Tile on Concrete Substrate
- Asbestos-Containing Sheet Vinyl on Wood Substrate
- Asbestos-Containing Sheet Vinyl on Concrete Substrate
- Ceiling Texture Overspray under Stair Tread on Wood Substrate

GENERAL NOTES:

The purpose of this drawing is to depict approximate locations of the asbestos-containing materials to be removed according to the scope of work. The building materials used in this property were analyzed for asbestos content in a previous building inspection. No further sampling was conducted by G2 to attempt to identify hidden layers of suspect materials under floors, inside walls and interstitial spaces. Any additional suspect materials identified during the renovation should be tested for asbestos content prior to impact.



2 EASTWOOD COURT ADA UNIT
SCALE: 1/4"=1'-0"

ABATEMENT NOTES:

1. Abatement contractor to field verify all quantities and locations.
2. Abatement contractor is responsible for the removal of the ACM included in the scope of work. Some of this material may have obstructions or be concealed by carpeting and other building materials.
3. All ACM removal is to be conducted in compliance with all Federal, State and local regulations, and, at a minimum, must be conducted within a negative pressure containment.
4. All coordination for abatement activities shall be between the abatement contractor and the general contractor.
5. All negative pressure containment provisions shall require clearance sampling prior to turning the work space back over to the general contractor.
6. Abatement contractor shall coordinate all clearance sampling with G2 Consultants, Inc., with efforts made to give a reasonable amount of notice.

SCOPE OF WORK - FLOORS:

1. Removal and disposal of approximately 340 sq. ft. of asbestos-containing floor tile and mastic on wood substrate from the duplex units.
2. Removal and disposal of approximately 465 sq. ft. of asbestos-containing floor tile and mastic on concrete substrate from the duplex units.
3. Removal and disposal of approximately 685 sq. ft. of asbestos-containing floor tile and mastic on concrete substrate from the ADA unit.
4. Removal and disposal of approximately 80 sq. ft. of asbestos-containing sheet vinyl on wood substrate from the duplex units.
5. Removal and disposal of approximately 30 sq. ft. of stair tread w/ asbestos-containing ceiling texture overspray from the duplex units.

Notes:

This is a design drawing and is the property of G2 Consultants, Inc. It is not intended to replace required architectural or engineering plans. This drawing is not to be reused or reproduced without written permission from G2 Consultants, Inc.

Client: HAP
Project: Carlton/Eastwood
Location: Portland, Oregon
G2 Project #: 1011-27

Eastwood Ct. and Carlton Ct. Modernization
Carlton - 5249 NE Killingsworth St. Port., OR 97218
Eastwood - 18210 SE Yamhill St. Port., OR 97236
Asbestos Abatement - ADA and Duplex Floors Projects No. _REB 01/10-96

consultants
16869 SW 65th Avenue
#15
Lake Oswego, OR 97035
888.998.g2ci
888.887.6422 fax
www.g2ci.com



Date:
3-31-10
Drawn By:
DKR
Page #: